

# MARIGOLD

*by Growland*

Design Guidelines  
July 2024

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# 1.0 Introduction

## 1.1 Marigold Community Vision

Discover your future at Marigold— Melbourne’s most beautiful new address.

Encompassing 900 lots which have been carefully masterplanned across 60 hectares of natural beauty, Marigold offers a broad range of sizes and layouts with ample space for landscaped front gardens and private backyards for residents who are ready to build their forever home in a safe, connected environment.

Conveniently located within 25kms from Melbourne’s CBD and tucked between the established suburb of Tarneit and the new suburb Mt Atkinson, Marigold residents will have access to Melbourne’s finest amenities including; childcare centres, medical facilities, primary and secondary schools.

Almost one quarter of Marigold has been exclusively reserved for natural open space creating a community with sustainable design at its core. The Linear Creek Reserve runs through the centre of Marigold providing extensive water views, while Dry Creek in the community’s South-West corner creates further natural vistas and an enhanced connection to the land.

These creeks and waterways will be revitalised with a dedicated storm water recycling system, while the wetlands located throughout the masterplan will become home to a host of local flora and fauna.

The commitment to greenery doesn’t just stop at Marigold - in the wider Tarneit North area, the state government has specified 27 per cent of all developable land will encompass open space, including over 35 parks, sports grounds and reserves.

Devoted pedestrian and cycling paths will create a connected community and provide direct access to town centres, parks and open spaces.

## 1.2 Design Guidelines Objectives

The Marigold Design Guidelines document has been prepared to assist land owners and builders to achieve the following objectives:

- Ensuring a high standard of measures are adhered to for all home construction and landscaping designs,
- Ensuring a high standard of innovative, contemporary and environmentally compatible house designs,
- Support the quality and streetscape of the development in the estate, and
- Protect the lifestyle and the investment of the land owner.

The Design Guidelines also allow land owners flexibility in housing styles to suit their lifestyle, without compromising the character and quality of the community.

These Design Guidelines apply to all single dwelling residential lots approved under Planning Permit No. WYP10365/17 (or any amendment of that permit) and do not apply to any integrated development sites created under that permit requiring a separate planning permit.

These Design Guidelines may be amended on occasions at the developer's discretion, subject to City of Wyndham approval, to reflect changes in design trends or to coincide with the release of later stages.

Applications for Design Review Committee Approvals will be assessed against the current version of the Marigold Design Guidelines.

All applicants should review these Design Guidelines in conjunction with the land Contract of Sale.

## 1.3 The Design Review Committee (DRC)

All house siting and designs (including fencing, landscaping and retaining walls) are to be approved by the Design Review Committee (DRC). The DRC is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

Approval by the DRC is required before applying for a building permit for the construction of a new dwelling. The DRC reserves the right to approve applications based on architectural merit and compliance with the Marigold Design Guidelines.

The DRC is not a building approval nor does it imply compliance with the building code, Building Regulations or any other statutory requirements.

The DRC will assess all designs and if they are compliant with the Marigold Design Guidelines, provide a letter of approval along with an endorsed copy of the plans and external colour samples. Applications that substantially comply with the Marigold Design Guidelines may be given a letter of approval with conditions requiring the rectification of minor deviations. These deviations may also be noted on the plans. The DRC may also offer suggestions intended to improve designs.

Please refer to the Developer Approval Application Form at the rear of this document for a checklist of items required for the DRC to assess.



## 1.4 Approval Process

If the plans submitted do not comply with the Marigold Design Guidelines, the DRC will advise the applicant of the reasons for non-compliance and suggest amendments. Applicants will then be required to re-submit amended plans to gain approval.

Interpretation and application of these Design Guidelines is at the sole discretion of the DRC. The DRC's decisions are final. No claims shall be made to the Developer, the DRC or their representatives with respect to the decisions made.

The DRC will endeavour to process applications as quickly as possible, generally within 10 business days of receipt of application. Once approval is obtained an application for a building permit may be lodged with the City of Wyndham or an accredited building surveyor.

### Submissions

Once design and plans are completed, submissions can be lodged to the DRC via the Design Approval Portal at [www.ngdd.com.au](http://www.ngdd.com.au). Users are required to first register to use the portal, then simply log in and enter the relevant details when prompted.

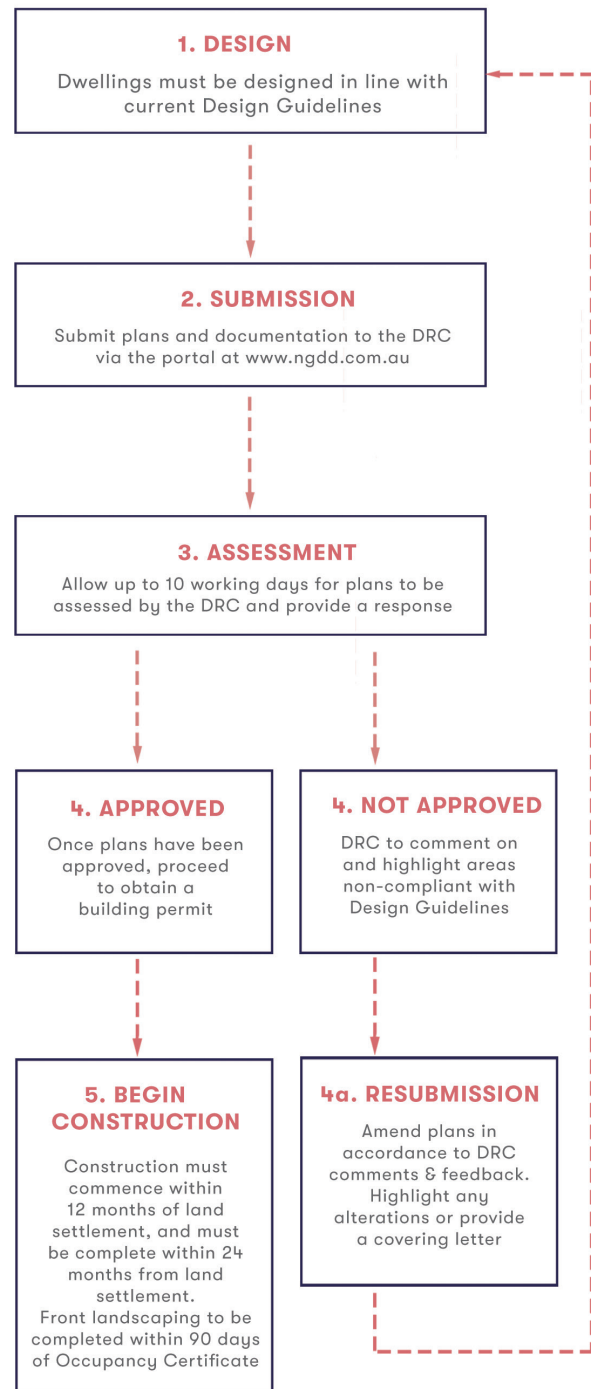
Please ensure that the application submitted includes all the required information before lodging it.

### Re-Submissions

Should a re-submission be required, ensure that any alterations or changes are highlighted on the plans or in a covering letter.

Allowance has been made for 2 submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the DRC.

Submissions for a lot that already has an application approved may also incur an administration fee.



## **1.5 Medium and High Density Lots**

The Design Guidelines do not cover integrated development sites that require a separate planning permit. Medium or High Density lots cannot be developed without obtaining a planning permit from Council. In addition to the planning permit requirements, proposals for medium or high density lots are required to be assessed and approved by the DRC prior to a planning application being lodged with Council.

## **1.6 Small Lot Housing Code**

Lots that provide a single dwelling and have an area less than 300m<sup>2</sup> are also subject to the requirements of the Small Lot Housing Code (SLHC). Where the SLHC requirements contradict the Design Guidelines, the SLHC requirements shall prevail. The DRC will not assess proposals against the requirements of the SLHC.

## **1.7 Covenants**

These Design Guidelines are registered on the Property Title as a Memorandum of Common Provisions (MCP) referred to by a restrictive covenant. In the event that requirements under the Design Guidelines contradict covenants defined within the Plan of Subdivision or the MCPs, the Plan of Subdivision or the MCP shall prevail.

## **1.8 Statutory Obligations**

It is the responsibility of the land owner (and the land owner's Builder and Building Surveyor) to ensure that all submitted documents comply with the Victorian Building Code, ResCode and all other Statutory Authority requirements, along with current Victorian energy rating standards, prior to construction. Approval by the DRC does not exempt the proposal from any building or statutory regulations, nor infer compliance with the building regulations or other applicable statutory legislation. The Developer nor the DRC will be liable for any costs associated with planning approvals.

## **1.9 Timing**

Construction of a dwelling is required to start within 12 months of the original land settlement date and are required to be completed within 24 months from the original land settlement date. Side, rear and return fencing and Driveways are required to be completed prior to occupation of the dwelling. All front landscaping including; fencing, retaining walls and letterboxes are required to be completed within 90 days from Occupancy Certificate. All timing are required to be complied with by the land owner, unless agreed otherwise in writing by the Developer.

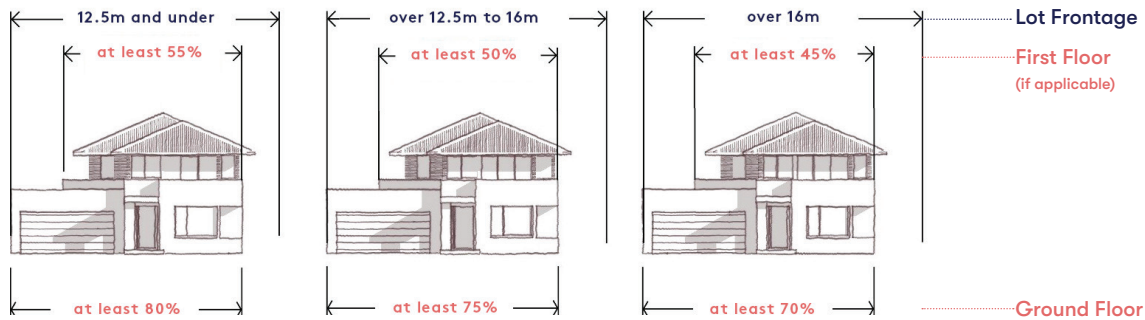
## **1.10 Subdivision**

Marigold permits only one dwelling per allotment. The Design Guidelines prohibit further subdivision of all allotments within the estate, including dual occupancy dwellings and relocatable homes unless otherwise agreed by the DRC and responsible authority.

## 2.0 Site Layout & Setbacks

### 2.1 Dwelling Size

All dwelling designs **must** comply with the minimum front width elevations:



(Some additional covenants may apply to selected allotments which will be noted on the MCP's.)

The final decision regarding all dwelling design and sizes will be at the discretion of the Marigold DRC.

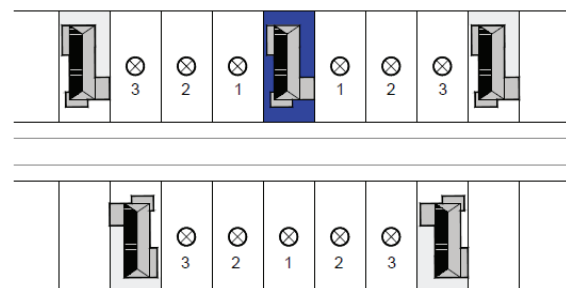
### 2.2 Streetscape

Dwellings with identical facades **must** not be built within 3 dwelling allotments along either side of the street.

Provisions include either side, opposite and encompassing other street frontages where applicable. *(please see diagram on the right)*

In the event two applications request the same facade or similar design, approval will be granted to the first application received.

Similar but not identical facades will be adjudicated by the Marigold DRC, with considerations on identifiable characteristics/elements/form which are different between the dwellings.



Identical Facades Diagram

### 2.3 Orientation

The orientation of the dwelling can play a huge role in being environmentally sustainable. Dwelling orientations should take into considerations the use of the North and East sunlight exposure to private living spaces. Double Storey homes must respect the privacy of neighbouring dwellings, including potential overshadowing issues.

## 2.4 Setbacks

Dwelling setbacks at Marigold have been implemented to create articulated streetscapes which respect view corridors. These setbacks also ensure a good level of solar access is maintained to all habitable room windows, avoid excessive amenity impact between lots and avoid overshadowing of private open spaces.

The below setbacks apply to all standard allotments over 300m<sup>2</sup>, and the following must be applied:

### Front

- Minimum 4.0m and Maximum 6.0 from front boundary to building line
- Encroachment up to 1.5m of the following items, may be approved:
  - Porches, porticos, roofed verandas and balconies less than 3.6m high
  - Unroofed balconies less than 6.9m high

### Rear

- Minimum 3.0m from rear boundary

### Side

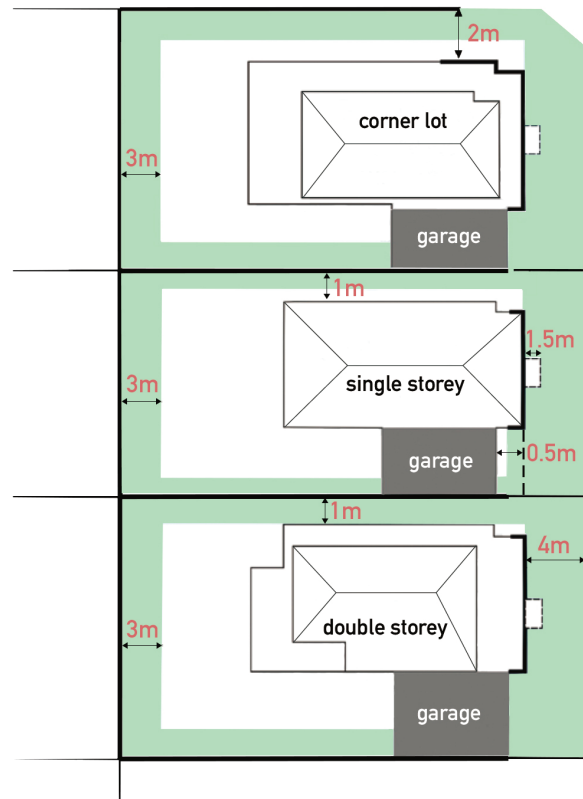
- Minimum 1m for single storey dwellings
- Single storey walls and garages may be built on one side of the boundary line only

### Corner

- Minimum 2.0m from side boundary

### Garage

- Minimum 0.5m from the dwelling frontage (Dispensation may be considered by the DRC for irregular allotments)



Dwelling Setback Measurements

### Lots less than 300m<sup>2</sup>

Small lots **must** comply with the requirements of these Design Guidelines and the SLHC as described in the applicable MCP. Refer to Plan of Subdivision for Type A and Type B lots. Where there is a conflict between the SLHC and these Design Guidelines, the requirements of the SLHC prevail.



## 3.0 Architectural Character

### 3.1 Style

- Dwellings **must** support architectural design that are modern and contemporary, including quality form and finishes. Alternative design will be considered upon submission to the developer for approval.
- Buildings are encouraged not to include any architectural decorative elements that reflect period style homes (for example: Victorian, Edwardian, Georgian, Colonial, Federation eras, etc).



✗ Not Approved - Period home features



✓ Approved - Image courtesy of Boutique Homes

### 3.2 Colours

- External building colours should reflect a harmonious colour palette consisting of natural and earthy tones which complement the surrounding area and theme of the dwelling.
- Use of strong, bold or bright external colours that do not support the contemporary nature of the dwelling will not be approved.
- Accent colours are encouraged to be strategically used for feature architectural elements.
- Gutters, fascia, flashing and cladding are required to match or complement the roof colour.
- Downpipes and meter boxes are required to complement the external wall colour.



✓ Approved - Image courtesy of Porter Davis Homes



✓ Approved - Image courtesy of Boutique Homes

### 3.3 Materials

- The use of appropriate feature materials such as architectural render, block work, brick work, masonry, rendered Hebel block, natural stone, exposed timber, cladding materials, glass and steel is encouraged. Use of quality materials and finishes is recommended to give a timeless appeal.
- Materials and finishes such as unpainted or galvanised metal, raw fibre cement sheet and reflective glazing are not permitted.
- The use of second hand materials will be subject to DRC and Council approval. New building materials based on recycled content are permitted.
- External walls with elevations facing a street or reserve **must** be constructed from a at least 2 types of materials or colours to capture the modern and contemporary design concept for the dwelling:
  - Up to 70% may consist of; brick, masonry veneer or other approved texture coated material.
  - At least 30% may consist of; render, stack stone, weatherboard, tiles, natural stone, etc. (Roof, garage door or windows can not be included as a secondary material)
  - Contrasting face brick will not be approved.
  - Contrasting render will be considered.

The final decision regarding all external materials and colours will be at the discretion of the Marigold DRC.



✓ Examples of various approved materials - Image courtesy of Porter Davis Homes

## 3.4 Facade

- Dwelling facades **must** be constructed using a mixture of external building materials and must include a minimum of 30% of materials other than brick. The 30% may be approved to be of full render, on the condition there is a contrast of colours to the rest of the facade.
- Facades **must** include features such as a porch, verandah or balcony to add visual interest and articulate building features.
- Facades shall also have at least one window on each storey that addresses each public realm frontage. The window must have appropriate head and sill heights to provide passive surveillance to the public realm.
- Garages shall not dominate the appearance of the dwelling and must be a complementary and recessive element to the building facade.
- Lightweight infill or recessed panels are not permitted above doors, windows or garage doors on elevations visible to the public.
- Facade design should incorporate contemporary materials such as; timber slat cladding, corrugated colour bond, rusted steel, tiling, cement composite products, natural and stacked stone or similar.
- The entry to the home **must** be recessed from the main building line and located on the main front elevation. Entry doors flush with the main building line are not permitted.
- Dwellings **must** have at least one habitable room window on the primary facade.
- Materials used on the front facade **must** continue a minimum 1m along the adjoining side elevation for non-corner allotments.



✓ Approved - Image courtesy of Porter Davis Homes



✓ Approved - Image courtesy of Porter Davis Homes

### 3.4.1 Corner Lots

- Dwellings on corner allotments **must** have a facade which incorporates matching design features that address both street elevations. These include feature windows, materials and articulation.
- Materials used on the primary facade **must** continue to the secondary facade a minimum of 3m, and must be in front of the return fence.
- Dwellings **must** have at least one habitable room window on the secondary facade frontage. All windows are encouraged to match the same head heights as those used on the primary facade.
- Large areas of flat or blank walls to the street or reserve elevations will not be permitted.



✓ Example of compliant corner treatment

The final decision regarding all facades (including corner lots) will be at the discretion of the Marigold DRC.



## 3.5 Roofs

- A variety of roof pitches are encouraged, including a combination of elements; pitched, flat and curved.
- A minimum roof pitch of 22 degrees is required for gable and hip roofs.
- Skillion and curved roofs **must** have a minimum roof pitch of 10 degrees.
- Flat roofs are permitted, but **must** include parapet walls.
- Colorbond and tiles are permitted, but colours must be of contemporary tones. No terracotta or red style colours will be permitted.
- Roof materials are required to be matt finish and non-reflective.
- External finishes such as air conditioning units and service related equipment **must** be positioned to minimise visibility from the street and of a colour which blends in with the roof.
- Pitched roofs with eaves to the street elevation/s are preferred but not mandatory. Where eaves are used, the eaves **must** be a minimum depth of 450mm. Eaves **must** return and continue for at least 1m along the adjoining wall/s.
- Single hip and single gable roof forms to the front facade will not be approved.
- The articulated form and style including any facade features should be applied to the secondary facade (side street) of the dwelling to address the corner. These include, but are not limited to, roof/wall projections, porticos, pergolas, shading devices and roof form. The elements must reflect the architectural style of the front facade.



✓ Flat Roof - Image courtesy of Boutique Homes



✓ Pitched Roof- Image courtesy of Boutique Homes



✓ Skillion Roof - Image courtesy of Porter Davis Homes



## 3.6 Garages

- Garages **must** not dominate the streetscape or facade and **must** be constructed of materials which match and complement the facade.
- Detached garages are not permitted. (rear loaded allotments exempted, subject to DRC approval)
- Triple car garages and car ports are prohibited unless formally approved by the developer.
- Garages **must** be set back from the dwelling frontage (facade wall) a minimum of 0.5m. (Dispensation may be considered by the DRC for irregular allotments)
- For single storey dwellings, the width of the garage door **must** not exceed 50% of the lot frontage. (Dispensation may be considered by the DRC for irregular allotments)
- Garage doors **must** be an electrical; sectional, panel or tilt lift door (Roller doors are prohibited where visible from the public realm).
- Frontages 12.5m and over **must** have a double garage.
- Double garages **must** not exceed 6.5m, unless prior approval from the DRC is obtained.
- Frontages less than 12.5m are permitted to construct a single garage, but double garage solutions are encouraged specifically for double storey dwellings.



❌ Not Permitted



✅ Approved - Image courtesy of Boutique Homes

## 3.7 Heights

- Only single and double storey homes are accepted at Marigold – Triple storey homes are not permitted. (Medium density lots excluded subject to DRC approval)
- A minimum ceiling height of 2550mm is required for all single-storey dwellings and the ground floor of double storey homes.
- The height and form of double storey homes **must** be consistent with the objectives and standards of ResCode and relevant building regulations, in particular respect to off-site amenity impacts including overshadowing, overlooking and visual bulk.

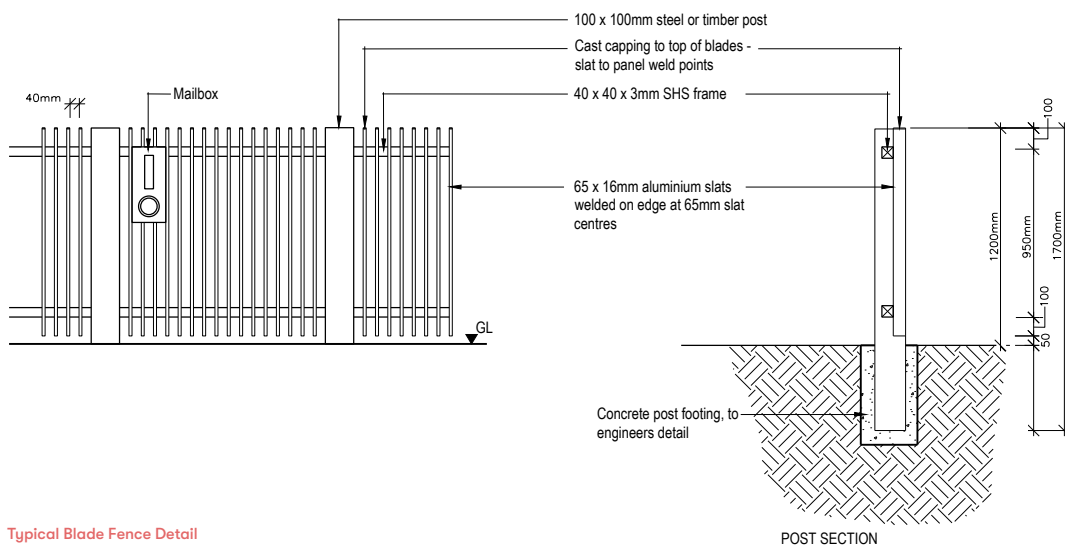
# 4.0 Fencing & Landscaping

## 4.1 Fencing

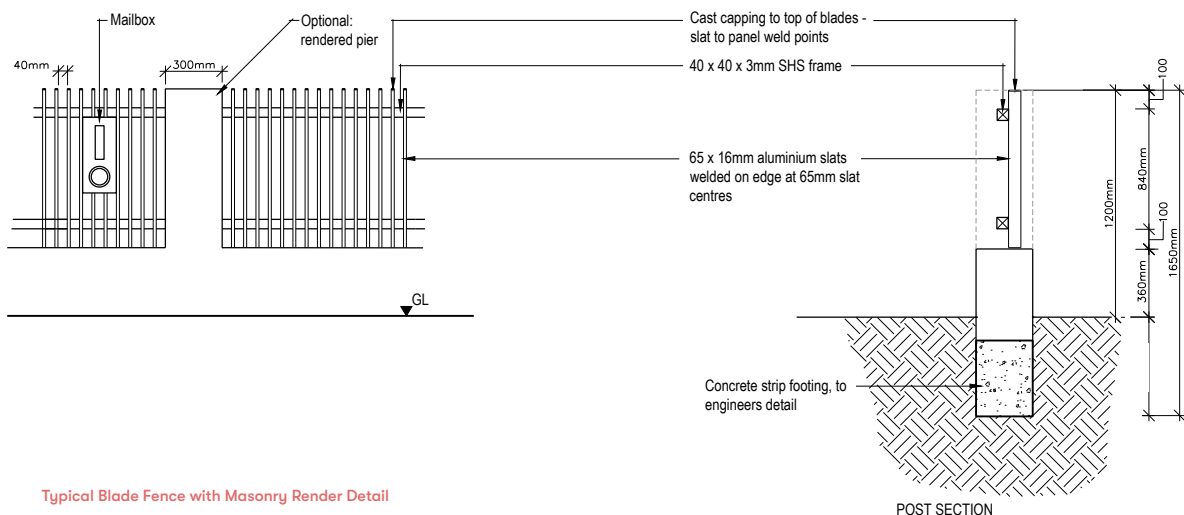
- Details of all fencing are required to be included in the information submitted to the DRC for approval. (Colourbond or sheet metal fencing is not permitted)

### 4.1.1 Front

- Vertical blade fencing is permitted and strongly encouraged, subject to items specified below:
  - Front fence to be 1.2m high, but the developer will consider up to 1.5m height.
  - Transparency of 50% or more, and maximum 30% masonry coverage.
  - Material can be either steel, aluminium or rendered masonry piers.
  - Return along the side boundary (including splay on corner lots) and extend to meet transitional fence.
  - Complement the facade style and materials (top rails are discouraged).
  - Colour must be either powder coated black, charcoal or bronze.
- Gates that form part of the front fencing, **must** complement the style and material of the front fence.
- Front Fencing **must** be completed within 90 days from Occupancy Certificate.



Typical Blade Fence Detail



Typical Blade Fence with Masonry Render Detail

### 4.1.2 Side, Rear & Return

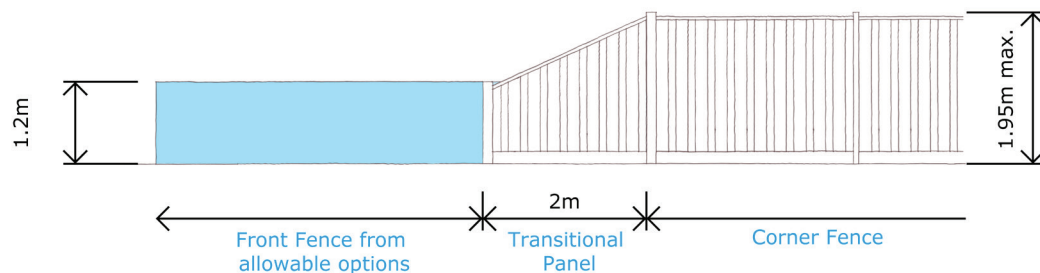
- Side & rear fencing **must** be constructed as specified below:
  - Set back 1m behind the closest front wall
  - Total height of 1.9m (+/- 50mm)
  - Bottom plinth of 150mm
  - Exposed timber posts with 2.4m spacing
  - Timber palings with a 20mm overlap
  - (Capping is strongly encouraged)
- Side fencing **must** terminate a minimum of 1m behind the closest front wall.
- Return fencing **must** be set back a minimum of 1m from the building line, and match the height and materials of the side fence. These are encouraged to be wing gate fences.
- Side, rear & return fencing must be completed prior to occupation of the dwelling.

### 4.1.3 Corner

- A corner lot is any lot that has more than one boundary that abuts a road.
- Corner lot fencing **must** have exposed posts with caps along any boundary, other than the front boundary, that does not abut another residential lot.  
(Developer will provide a contribution to the land owner – Refer to the Contract of Sale).
- Corner fencing **must** be set back 3m behind the closest front wall.  
(Dispensation may be considered by the DRC for irregular allotments).
- All other aspects remain the same as side & rear fencing.
- Fencing forward of the building line will only be accepted if an integrated front fence is built.
- Gates that form part of the fence must match height and materials of the side fence.

### 4.1.4 Transitional

Where the side boundary meets the front fence, fencing **must** rake down to a height of 1.2m over a 2m wide panel



## 4.2 Landscaping

Quality landscaping promotes an attractive neighbourhood. For this reason, any landscaping works to the front garden and nature strip are required to be part of the design approval process. A detailed Landscape Plan is required to be submitted to the DRC as part of the application approval.

All landscaping designs should be prepared with an objective for low water usage and environmental sensitivity by utilising appropriate drought tolerant native plants, organic mulches and drip irrigation systems. The form and texture of the plants should complement and enhance the architecture of the dwelling and should incorporate native plants that are common to the region.

(For a detailed list of plant options, please click here for the [Marigold Landscaping Brochure](#))

Private landscaping should use a combination of hard and soft landscape materials to create visually attractive and cohesive front garden. Front landscaping elements should not unreasonably effect adjacent properties through overshadowing or intrusive root systems.



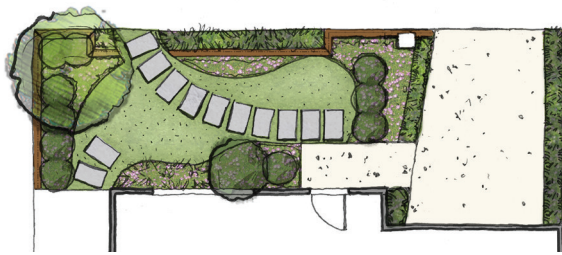
### 4.2.1 Hardscaping

- Feature retaining walls is required not to be higher than 1.0m, and should be constructed from materials which are complimentary to the dwelling. These include: stone, render, timber sleepers and face finish masonry.
- Any other landscaping structure is required to be complimentary to the facade and landscaping of the dwelling.

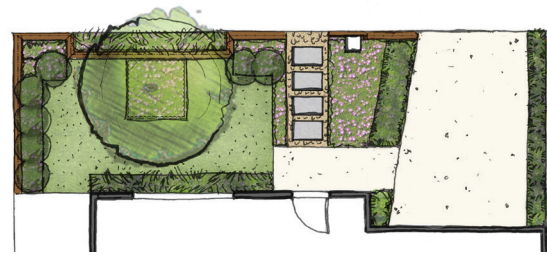


## 4.2.2 Front Landscaping

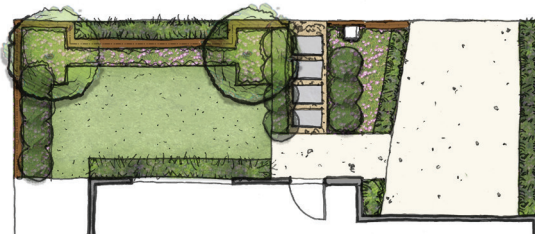
Growland recommends purchasers at Marigold select one of the six front landscaping designs below.



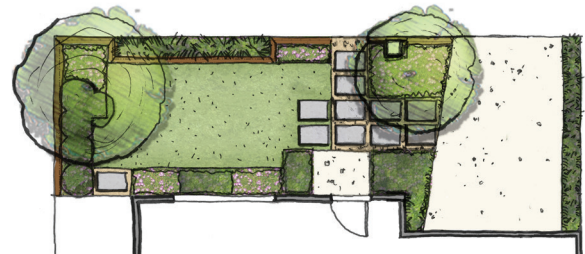
Curved



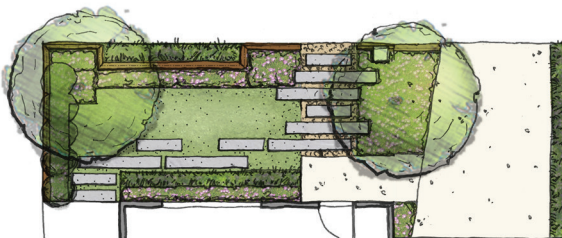
Balanced



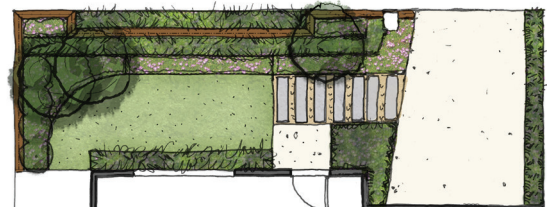
Formal



Modern



Contemporary



Private

If purchasers have not chosen a landscaping design from above, the front garden must comply with the following:

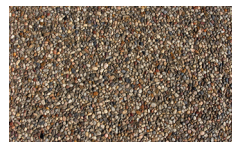
- At least 50% of the front garden area is required to comprise of permeable surfaces such as; garden beds with planting, drought resistant lawn (warm season pre-grown turf such as Kikuyu species are encouraged) or lawn alternatives such as ground covers, river pebbles, lilydale toppings or artificial grass which present as a natural lawn, with colour and height variation is acceptable.
- At least one tree with a minimum installation height of 2m must be planted between the front building line and street boundary.
- In addition to the above, garden beds are required to have a minimum of 5 medium to large shrubs (200mm pot size) and 20 smaller shrubs or ground cover plants (150mm pot size).
- Garden beds are required to be edged with either timber, masonry or steel edging materials.
- Consideration should be given to the cultivation of existing soil in the garden beds to a 200mm depth, the addition of imported topsoil and fertiliser to the garden bed, and the covering of the garden beds with a minimum 80mm depth organic pine bark or similar mulch.
- Brightly coloured or coarsely textured wood mulches and brightly coloured pebbles are not permitted
- Automatic drip system irrigation systems are strongly encouraged.
- Empty spaces between species should be avoided.
- Front Landscaping should be completed within 90 days from Occupancy Certificate.

## 4.3 Driveways

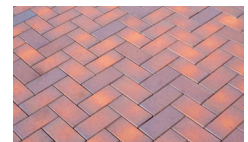
- Only one crossover per allotment is permitted.
- Driveways and any paths that are visible from the public realm, **must** be constructed with either exposed aggregate, natural stone, brick/concrete pavers, or coloured concrete. Unfinished natural concrete or painted concrete is not permitted.
- The design and finish of the driveway **must** complement the overall design of the dwelling and not dominate front landscaping elements
- Driveway finish & colour designs **must** be lodged with building plans and approved by the DRC prior to installation.
- Driveways are required to taper to match the crossover width and must be offset by a minimum of 300mm from the closest boundary to allow for a landscaping strip.
- Driveways **must** be completed prior to occupation of the dwelling.



✓ Approved - Image courtesy of Porter Davis Homes



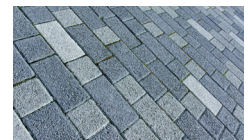
Exposed Aggregate



Brick Pavers



Natural Stone



Concrete Pavers

Crossover relocations require DRC and Council approval. Related costs are the responsibility of the land owner, and are required to be paid prior to commencement of works. Relocation is not always possible due to underground services and street layout.

## 4.4 Letterboxes

- Letterboxes shall match and complement the dwelling facade & landscaping with respect to colours, materials and style.
- Positioned close to front boundary line.
- Property number clearly displayed.
- Integrated with the front fence (if applicable).
- Single post supporting letterboxes and temporary letterboxes are not permitted.
- Letterboxes are required to be installed within 90 days from Occupancy Certificate.



✗ Not Permitted



✗ Not Permitted



✓ Acceptable

## 5.0 Ancillary Items

### 5.1 Storage & Services

- There shall not at any time be erected on or placed on the land any temporary building or structure including a caravan or anything of a like nature except sheds, workshops or office rooms to be used for the purpose of and in connection with the building in the course of construction. All temporary structures are to be removed upon completion of the permanent building. In no instance shall any temporary structure be used as a dwelling.
- In addition to any proposed sole structure is required to be coloured to compliment the dwelling (galvanised metal are prohibited).
- Sheds **must** be no greater than 10m<sup>2</sup> in area and be no higher than 3m from natural ground level. Materials and colours used should be consistent with and complement the dwelling. Sheds **must** be screened away from any street and/or public view.
- Boats, caravans, trailers, commercial vehicles greater than 1 tonne or other recreational vehicles are not permitted to be parked on your property unless they are stored or screened from public view.
- Solar panels **must** not be installed on the front elevation of the dwelling.
- Solar hot water systems should be located in the best functional position, however they **must** not be installed on the front elevation and must be screened from public view.
- Roof mounted evaporative cooling units must be low profile, located below the roof ridgeline, and not visible to the public (preferably to the rear of the dwelling). All units must be coloured to blend with the roof of the dwelling.
- Air-conditioning units **must** be located below the eave line and must not be visible from public view.
- Aerials and satellite dishes and the like not permitted, due to provision of fibre optic services.
- Clotheslines, bin storage, rainwater tanks, heating & cooling equipment, spa equipment and service areas **must** not be visible from the street frontage or public view. Their locations must be indicated on site plans as part of the application.
- Proper internal window furnishings are required to be installed to all street elevations prior to occupation of the dwelling. The use of canvas awnings, aluminium roller shutters and/or similar window coverings are not permitted, unless approved by the Marigold DRC.
- Refuse bins **must** not be stored where visible from the street.
- Water tanks installed on lot widths of 14 metres or less are to be the slim line painted metal tanks.
- The purchaser will not construct or move an existing garage or outbuilding of any type on the land as a sole structure without first applying to and obtaining approval in writing from the developer. The developer will be under no obligation to approve an application for a sole structure if in its reasonable opinion, the sole structure would be in conflict with its obligation to all purchasers.

- Security doors are required to be contemporary in appearance. Traditional or period style patterns are not permitted.
- Exposed plumbing **must** not be visible from the front or side street or neighbouring public view, (excluding gutters and downpipes).

## 5.2 Advertising

- Installation of a sale board without a dwelling constructed is prohibited.
- Builders are permitted to one advertising sign (maximum 600mm x 600mm) per allotment during the construction of a dwelling. The sign shall be removed within 30 days from construction completion.
- 'For Sale' signs are not permitted on vacant land.
- Handwritten or illuminated signs are not permitted.
- No other advertising signage is permitted on vacant land or occupied allotments.



## 5.3 Maintenance

### Rubbish

- The land owner shall not allow any rubbish to accumulate on a lot including; site excavations and building materials (unless neatly stored in a suitable sized bin/skip)
- The land owner shall not place any rubbish including site excavations and building materials on adjoining land, reserves or any waterways. (Penalties apply for any illegal dumping)



### Landscaping

- Landscaped areas are to be established and maintained to benefit the urban environment.
- Gardens are required to be prepared appropriately to ensure longevity and sustainability.
- Gardens and lawns are required to be kept free of pest, disease and weeds.
- Front yard and nature strip grass must be cut regularly.
- Planting List of preferred species including prohibited weed species can be found on the [Marigold Landscaping Brochure](#).



### Crossover & Footpath Protection

- The land owner shall ensure that photographic evidence of any existing damage to public infrastructure within the vicinity of the lot is documented and sent to the DRC prior to construction commencing.
- Any damage arising from dwelling construction shall be rectified at the land owners cost.



## 6.0 Enviromental Sustainability

### 6.1 Energy Ratings

It is the applicant's responsibility to ensure that the dwelling complies with the minimum standards of the Victorian Energy Rating requirements as currently legislated. An Energy Rating Report will not be required to obtain DRC Approval, however will be required to obtain a Building Permit.

### 6.2 Rainwater Tanks & Recycled Water

Rainwater tanks are not compulsory within the Marigold estate, but are strongly encouraged. Installation of a rainwater tanks will assist with a higher Energy Rating Report. Location proposed must be indicated on site plans submitted, and not visible from public view.

Recycled Water is not compulsory, but each dwelling is encouraged to incorporate plumbing that allows for connection to any future recycled water supply, in accordance with statutory requirements.

### 6.3 Solar Heating

Solar Heating Panels are not compulsory within the Marigold estate, but are strongly encouraged. Installation of Solar Heating Panels will assist with a higher Energy Rating Report. Location proposed are required to be indicated on site plans submitted, and preferably not visible from public view.

### 6.4 NBN Co

Marigold is NBN ready. Please ensure your dwelling has all the required connections for installation. Refer to your builder or [www.nbnco.com.au](http://www.nbnco.com.au) for more information.



# 7.0 Application Form

The form below is required to be completed and attached (in PDF format) to the application submitted to the Marigold Design Review Committee, along with building plans submitted through the portal – [www.ngdd.com.au](http://www.ngdd.com.au) :

## 7.1 Details

### Property Details

Lot Number: .....

Street Name: .....

### Land Owner Details

Full Name: .....

Address: .....

Phone: .....

Mobile: .....

Email: .....

### Builder Details

Company Name: .....

Contact Person: .....

Address: .....

Phone: .....

Mobile: .....

Email: .....

### Design Details

House Type: .....

House Name: .....

Facade Name: .....

## 7.2 Checklist

### Site Plan (scale 1:200)

- Lot boundaries including easements
- Building footprint including site coverage
- Setbacks from all boundaries
- Other external structures and ancillary items

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### Floor Plans & Elevations (scale 1:100)

- Internal layout & dimensions
- Roof plan including eaves overhang
- Roof heights, forms & pitch
- Elevations of all structure/s
- Pergolas, decks, balconies, etc
- Windows, doors & other openings
- Building heights
- Floor Levels

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### Fencing & Landscaping Plans (scale 1:200)

- Driveway location, material & colour
- Fencing height, material & colour
- Planting location & schedule
- Letterbox type & location
- Hardscape & softscape
- Lawn areas

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### External Colours & Materials Selection

Sample or images of all external materials & colours.  
(swatches, colour photos, paint chips, brands, etc)

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*Do not send information such as; electrical plans, slab layouts, joinery details, internal colour schemes, etc.  
This extra information slows down the assessment process and may result in a submission being rejected.*

## 7.3 Acknowledgement

The Purchasers acknowledge that they have received a copy and read the Marigold Design Guidelines and agree to comply with all items outlined.

Non-Compliance

Any breach of the Design Guidelines is viewed seriously by the Developer. Upon the receipt of a letter from the Developer advising a breach of the Design Guidelines, the Purchaser is required to immediately rectify the identified breach.

I / We, being the property owners acknowledge that the information in the attached application is a true and accurate representation of the dwelling in which I / we intend to construct, and an incomplete application will not be considered or approved by the DRC. In the event that changes are made to the proposed plans, I / we undertake to resubmit this application for approval of such changes.

I / We also acknowledge that the DRC is not a building approval nor does it imply compliance with building code, regulations or the City of Wyndham Planning Scheme.

Lot. Owners Signature/s: ..... Full Name/s: ..... Date: .....

**[marigoldtarneit.com.au](http://marigoldtarneit.com.au)**

1030 Dohertys Road Tarneit

1300 888 181



**GROWLAND**