

PLAN OF SUBDIVISION

LUV USE ONLY
EDITION

PLAN NUMBER
PS830835R

LOCATION OF LAND

PARISH: TARNEIT
TOWNSHIP: -
SECTION: 22
CROWN ALLOTMENT: -
CROWN PORTION: D (PART)
TITLE REFERENCES: Vol.12310 Fol.242
LAST PLAN REFERENCE/S: PS841631W (LOT AJ)
POSTAL ADDRESS: 1030 DOHERTYS ROAD
(At time of subdivision) TARNEIT 3029
MGA94 Co-ordinates **E** 296 870
(of approx centre of **N** 5 812 100
land in plan) **ZONE** 55

Council Name: Wyndham City Council
Council Reference Number: WYS5188/19
Planning Permit Reference: WYP10365/17
SPEAR Reference Number: S146596B
Certification
This plan is certified under section 11 (7) of the Subdivision Act 1988
Date of original certification under section 6: 20/08/2021
Statement of Compliance
This is a statement of compliance issued under section 21 of the Subdivision Act 1988
Public Open Space
A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made
Digitally signed by: Carolyn Harriott for Wyndham City Council on 07/04/2022

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
ROAD R1	WYNDHAM CITY COUNCIL
ROAD R2	ROADS CORPORATION
RESERVE No.1	WYNDHAM CITY COUNCIL
RESERVE No.2	WYNDHAM CITY COUNCIL
RESERVE No.3	POWERCOR AUSTRALIA LTD
RESERVE No.4	POWERCOR AUSTRALIA LTD

LOTS 1 TO 900 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.
FOR RESTRICTION A AFFECTING LOTS 901 TO 976 (BOTH INCLUSIVE) SEE SHEET 9.
EASEMENT E-3 HAS BEEN OMITTED FROM THIS PLAN.
OTHER PURPOSE OF PLAN:
REMOVAL OF THAT PART OF SEWERAGE EASEMENT E-11 ON PS841631W AS AFFECTS PETUNIA AVENUE ON THIS PLAN.
GROUNDS FOR REMOVAL:
BY AGREEMENT OF ALL INTERESTED PARTIES UPON REGISTRATION OF THIS PLAN PURSUANT TO SECTION 6(1)(k)(iv) OF THE SUBDIVISION ACT 1988.

NOTATIONS

DEPTH LIMITATION DOES NOT APPLY
STAGING This ~~is~~ is not a staged subdivision.
Planning permit No.
SURVEY. THIS PLAN IS ~~IS NOT~~ BASED ON SURVEY.
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s):
PM 90 (TARNEIT), PM158 & PM159 (TRUGANINA)
PROCLAIMED SURVEY AREA:

MARIGOLD 9
5.539ha

76 LOTS

EASEMENT INFORMATION

LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	ELECTRICITY SUPPLY	SEE PLAN	INST. A773783	STATE ELECTRICITY COMMISSION OF VICTORIA
E-2	ELECTRICITY SUPPLY	5	INST. A773783	STATE ELECTRICITY COMMISSION OF VICTORIA
	WATER SUPPLY (AS SETOUT IN MEMORANDUM OF COMMON PROVISIONS (MCP) No. AA1195	5	PS820469W	MELBOURNE WATER CORPORATION
E-4	DRAINAGE	SEE PLAN	PS820469W	WYNDHAM CITY COUNCIL
E-5	SEWERAGE	SEE PLAN	PS820469W	CITY WEST WATER CORPORATION
	DRAINAGE	SEE PLAN	PS820469W	WYNDHAM CITY COUNCIL
E-6	SEWERAGE	SEE PLAN	PS820470N	CITY WEST WATER CORPORATION
	DRAINAGE	SEE PLAN	PS820470N	WYNDHAM CITY COUNCIL
E-7	WAY	SEE PLAN	PS820469W	WYNDHAM CITY COUNCIL

SEE SHEET 2 FOR CONTINUATION



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SURVEYOR REF: 2360s-09

ORIGINAL SHEET
SIZE: A3

SHEET 1 OF 9

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Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-8	DRAINAGE	SEE PLAN	PS841631W	WYNDHAM CITY COUNCIL
E-9	SEWERAGE	SEE PLAN	PS841631W	CITY WEST WATER CORPORATION
E-10	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	PS841631W PS841631W	WYNDHAM CITY COUNCIL CITY WEST WATER CORPORATION
E-11	SEWERAGE	SEE PLAN	THIS PLAN	GREATER WESTERN WATER CORPORATION
E-12	CREATION AND MAINTENANCE OF WETLANDS, FLOODWAY AND DRAINAGE AS SPECIFIED AND SET-OUT IN MEMORANDUM OF COMMON PROVISIONS NO. AA2741	SEE PLAN	THIS PLAN	MELBOURNE WATER CORPORATION
E-13	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	THIS PLAN THIS PLAN	WYNDHAM CITY COUNCIL GREATER WESTERN WATER CORPORATION
E-14	DRAINAGE	SEE PLAN	THIS PLAN	WYNDHAM CITY COUNCIL

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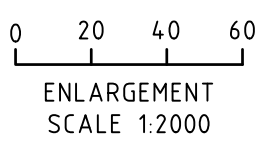
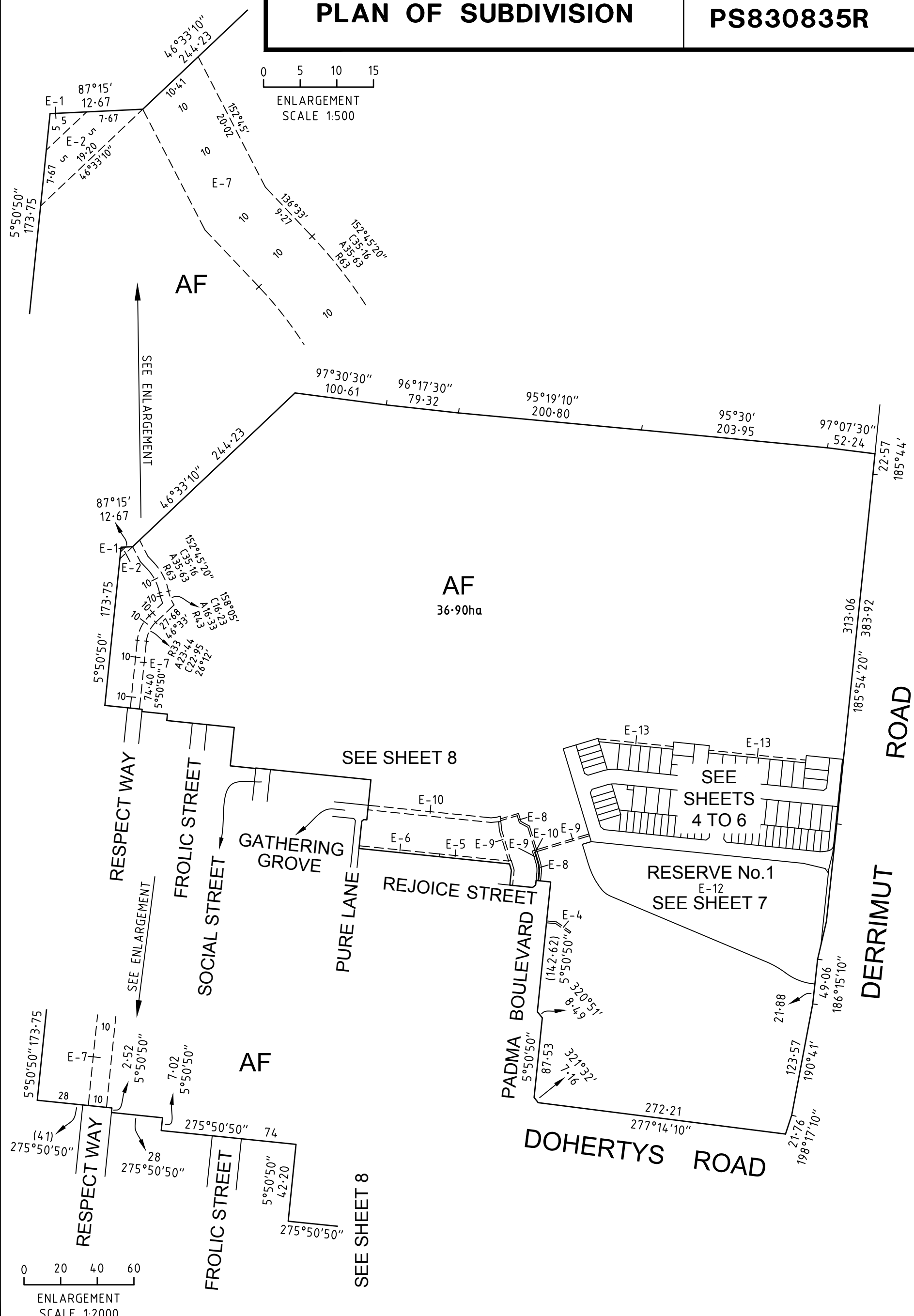
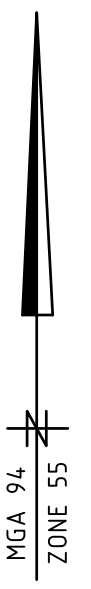
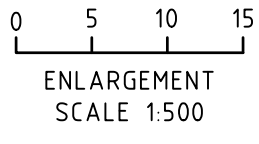
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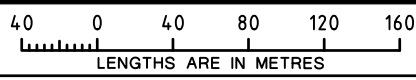
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SHEET 3

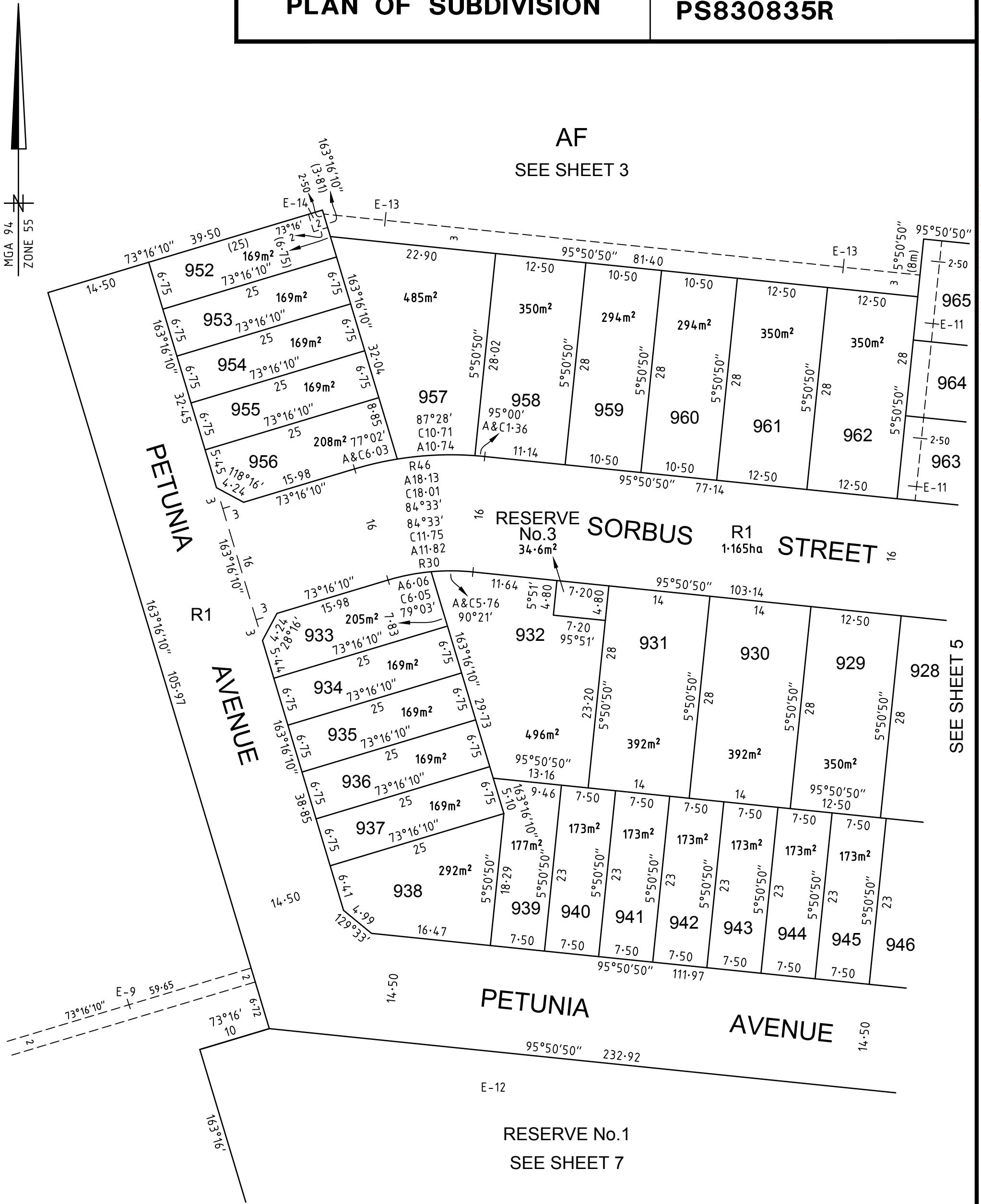
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SEE SHEET 3



SEE SHEET 5

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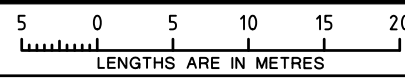


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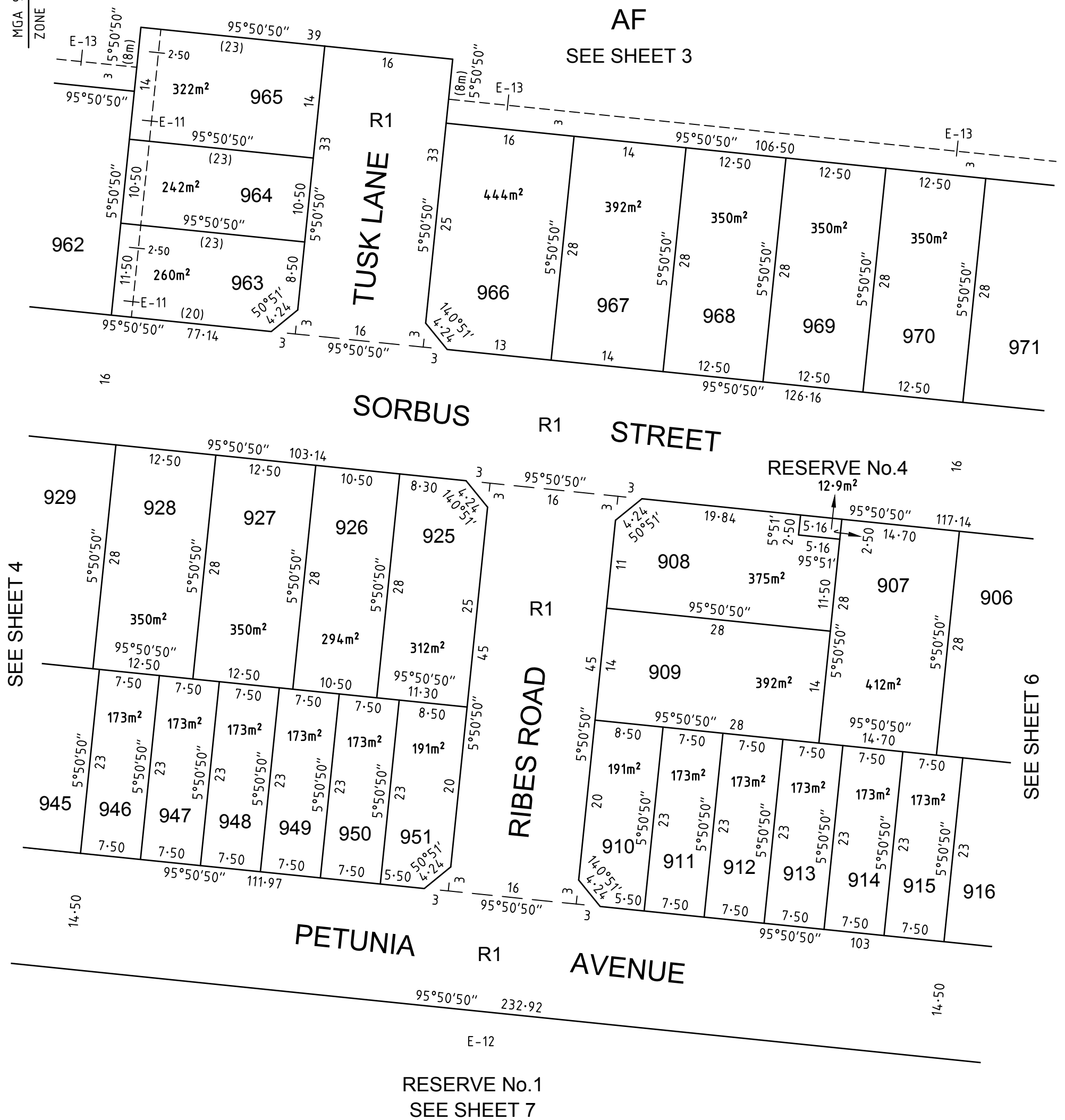
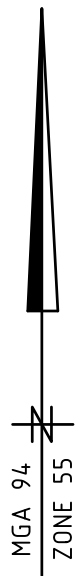
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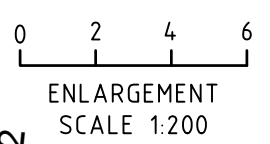
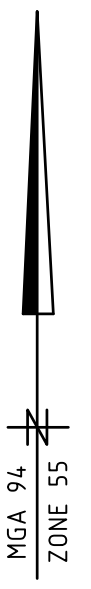
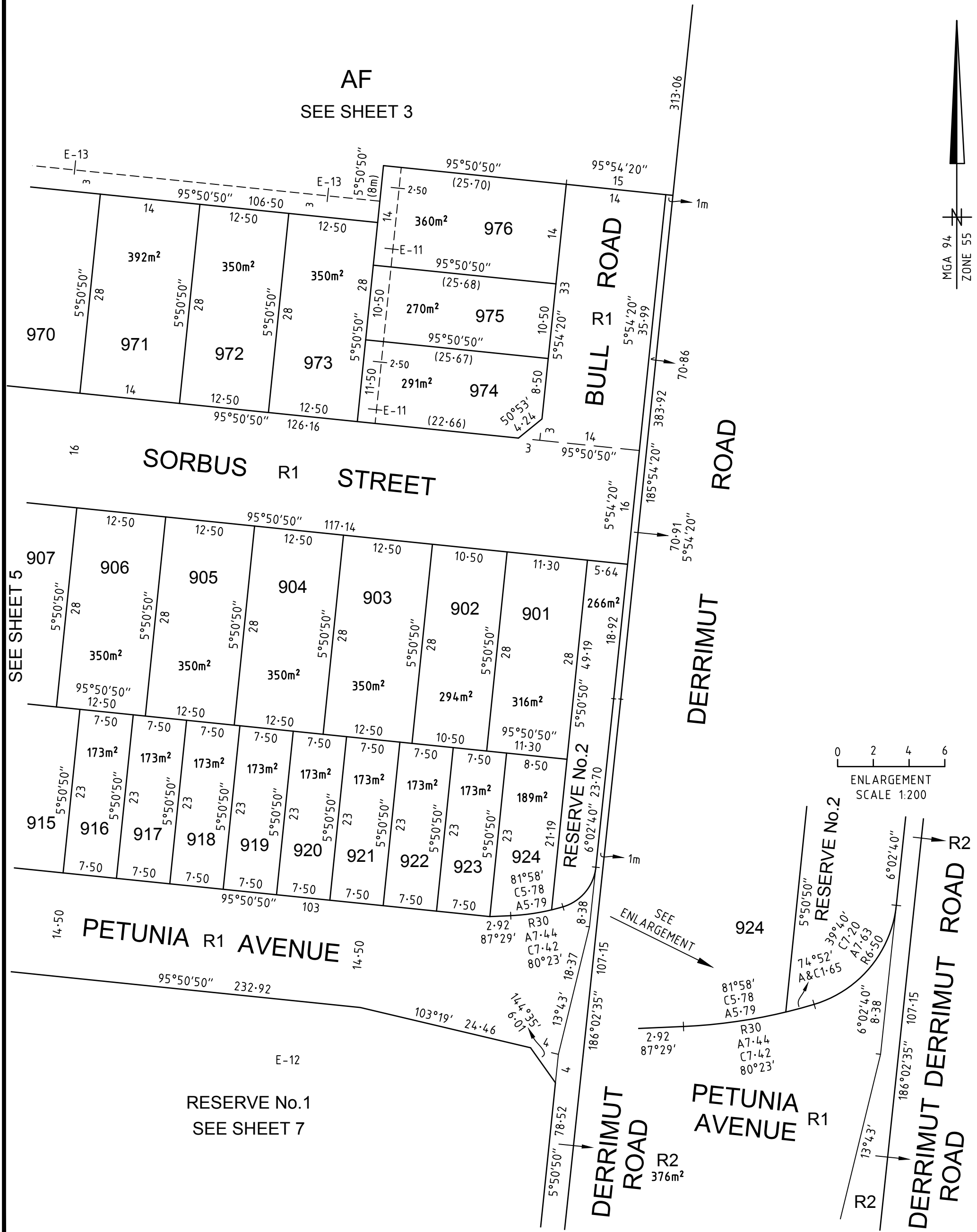
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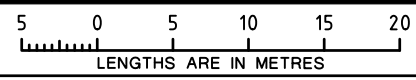


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SHEET 6

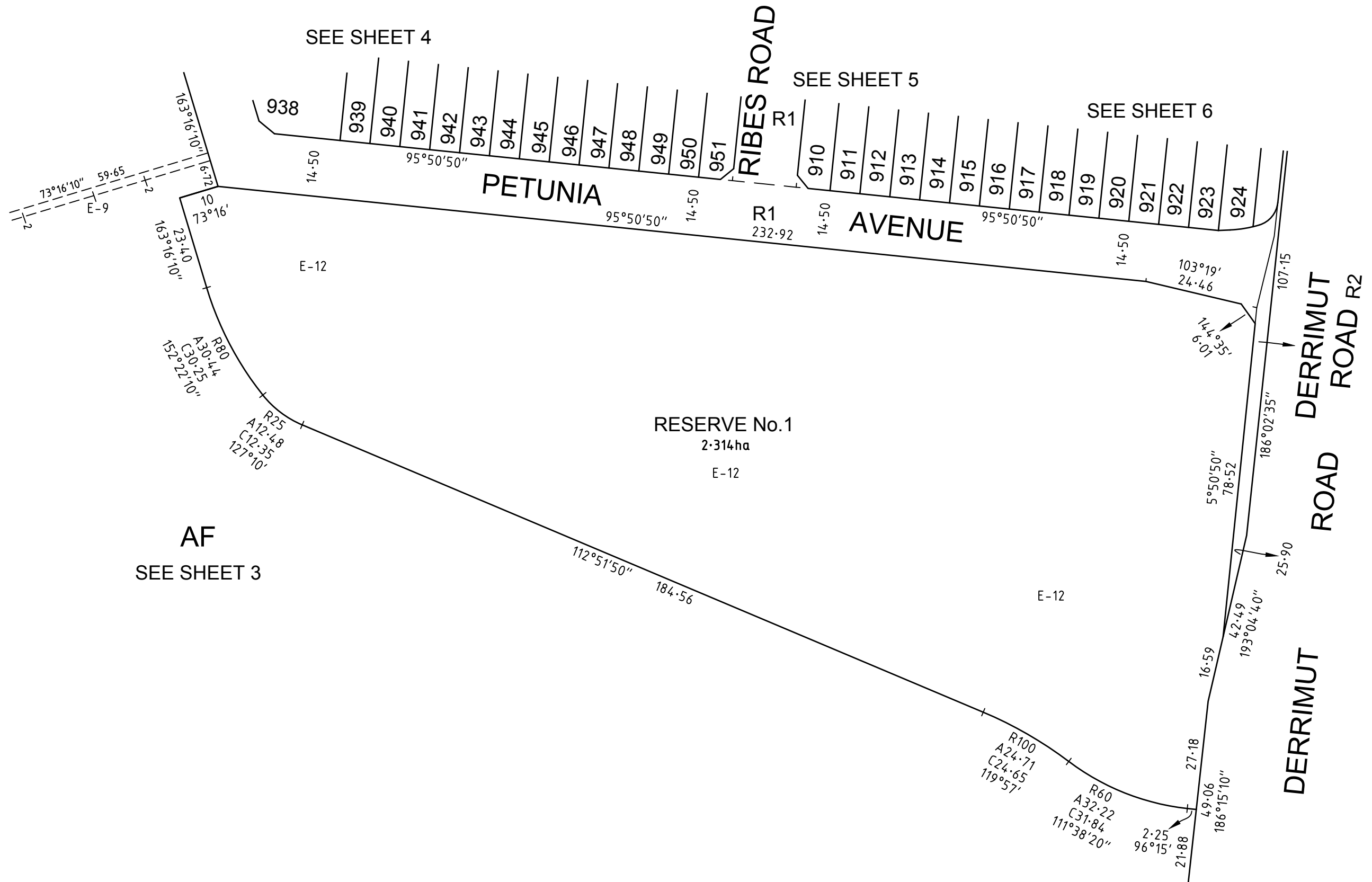
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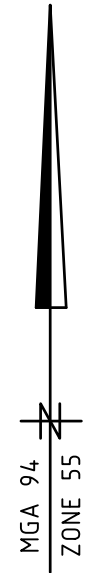
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SEE SHEET 4

SEE SHEET 5

SEE SHEET 6

RESERVE No.1
2.314 ha
E-12



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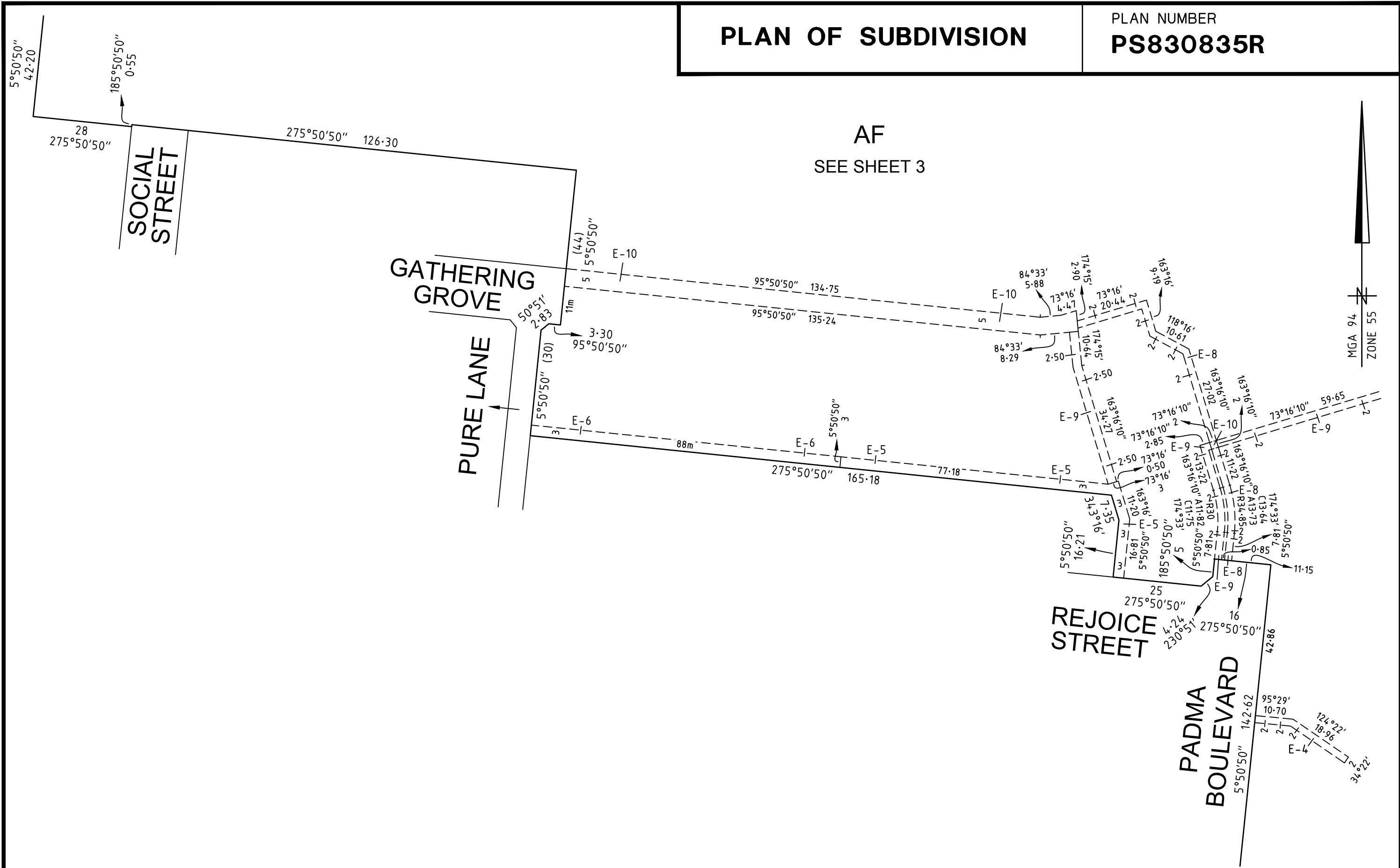
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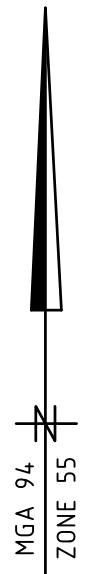
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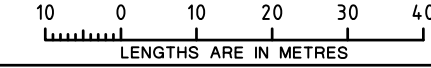


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CREATION OF RESTRICTION A

The following Restriction is to be created upon registration of Plan of Subdivision PS830835R by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Table of Land Burdened and Land Benefited:

BURDENED LOT No.	BENEFITING LOTS
901	902, 923, 924
902	901, 903, 922, 923
903	902, 904, 920, 921, 922
904	903, 905, 918, 919, 920
905	904, 906, 917, 918
906	905, 907, 915, 916, 917
907	906, 908, 909, 913, 914, 915
908	907, 909
909	907, 908, 910, 911, 912, 913
910	909, 911
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914	907, 913, 915
915	906, 907, 914, 916
916	906, 915, 917
917	905, 906, 916, 918
918	904, 905, 917, 919
919	904, 918, 920
920	903, 904, 919, 921
921	903, 920, 922
922	902, 903, 921, 923
923	901, 902, 922, 924
924	901, 923
925	926, 950, 951
926	925, 927, 949, 950
927	926, 928, 947, 948, 949
928	927, 929, 945, 946, 947
929	928, 930, 944, 945
930	929, 931, 942, 943, 944
931	930, 932, 940, 941, 942
932	931, 933, 934, 935, 936, 937, 939, 940
933	932, 934
934	932, 933, 935
935	932, 934, 936
936	932, 935, 937
937	932, 936, 938, 939
938	937, 939

BURDENED LOT No.	BENEFITING LOTS
939	932, 937, 938, 940
940	931, 932, 939, 941
941	931, 940, 942
942	930, 931, 941, 943
943	930, 942, 944
944	929, 930, 943, 945
945	928, 929, 944, 946
946	928, 945, 947
947	927, 928, 946, 948
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949	926, 927, 948, 950
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969	968, 970
970	969, 971
971	970, 972
972	971, 973
973	972, 974, 975, 976
974	973, 975
975	973, 974, 976
976	973, 975

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision must not without the consent of the Responsible Authority build or allow to be built on the lot:

Memorandum of Common Provisions (MCP)

1. Any building other than a building which has been constructed and sited in accordance with the Memorandum of Common Provisions registered in Dealing No. AA4937 and which Memorandum of Common Provisions is incorporated in this plan.

Small Lot Housing Code

2. Any building in the case of lots less than 300 square metres unless in accordance with the Small Lot Housing Code which for Lots 902, 910 to 924 (both inclusive), 926, 933 to 956 (both inclusive), 959, 960, 963, 964, 974 and 975 are Type A Lots, unless a specific Planning Permit for the building has been obtained from Wyndham City Council.

The restrictions in paragraphs 1 and 2 shall cease to burden any lot on the Plan of Subdivision after 1st January 2031.

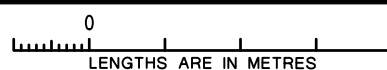


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SCALE



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SHEET 9

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