

PLAN OF SUBDIVISION

LUV USE ONLY
EDITION

PLAN NUMBER
PS830849E

LOCATION OF LAND

PARISH: TARNEIT
TOWNSHIP: -
SECTION: 22
CROWN ALLOTMENT: -
CROWN PORTION: D (PART)
TITLE REFERENCES: Vol. Fol.
LAST PLAN REFERENCE/S: PS828068X (LOT AE)
POSTAL ADDRESS: (At time of subdivision) CHERISH DRIVE TARNEIT 3029
MGA94 Co-ordinates (of approx centre of land in plan) **E** 296 250 **N** 5 812 080 **ZONE** 55

Council Name: Wyndham City Council
Council Reference Number: WYS5187/19
Planning Permit Reference: WYP10365/17
SPEAR Reference Number: S146587C
Certification
This plan is certified under section 11 (7) of the Subdivision Act 1988
Date of original certification under section 6: 06/07/2020
Statement of Compliance
This is a statement of compliance issued under section 21 of the Subdivision Act 1988
Public Open Space
A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made
Digitally signed by: Caitlin Anne Spratling for Wyndham City Council on 10/11/2020

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
ROAD R1	WYNDHAM CITY COUNCIL

LOTS 1 TO 416 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.
FOR RESTRICTION A AFFECTING LOTS 417 TO 453 (ALL INCLUSIVE) SEE SHEET 7.
EASEMENT E-3 HAS BEEN OMITTED FROM THIS PLAN.
PURSUANT TO SCHEDULE 5 SECTION 14 OF THE ROADS MANAGEMENT ACT 2004 THAT PART OF WAY EASEMENT E-13 ON PS828068X AS AFFECTS RESPECT WAY CEASES TO EXIST UPON REGISTRATION OF THIS PLAN.

NOTATIONS

DEPTH LIMITATION DOES NOT APPLY
STAGING This ~~is~~ is not a staged subdivision.
Planning permit No.
SURVEY. THIS PLAN IS ~~IS~~ NOT BASED ON SURVEY.
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s):
PM 90 (TARNEIT), PM158 & PM159 (TRUGANINA)
PROCLAIMED SURVEY AREA:

MARIGOLD 4
1.559ha

37 LOTS

EASEMENT INFORMATION

LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	ELECTRICITY SUPPLY	SEE PLAN	INST. A773783	STATE ELECTRICITY COMMISSION OF VICTORIA
E-2	ELECTRICITY SUPPLY WATER SUPPLY (AS SETOUT IN MEMORANDUM OF COMMON PROVISIONS (MCP) No. AA1195	5 5	INST. A773783 PS820469W	STATE ELECTRICITY COMMISSION OF VICTORIA MELBOURNE WATER CORPORATION
E-4	DRAINAGE	SEE PLAN	PS820469W	WYNDHAM CITY COUNCIL
E-5	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	PS820469W PS820469W	WYNDHAM CITY COUNCIL CITY WEST WATER CORPORATION

SEE SHEET 2 FOR CONTINUATION



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SURVEYOR REF: 2360s-04

ORIGINAL SHEET
SIZE: A3

SHEET 1 OF 7

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Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-6	SEWERAGE	SEE PLAN	PS820470N	CITY WEST WATER CORPORATION
E-7	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	PS820470N PS820470N	WYNDHAM CITY COUNCIL CITY WEST WATER CORPORATION
E-8	SEWERAGE	SEE PLAN	PS828068X	CITY WEST WATER CORPORATION
E-9	WAY	SEE PLAN	PS820469W	WYNDHAM CITY COUNCIL
E-10	SEWERAGE	SEE PLAN	THIS PLAN	CITY WEST WATER CORPORATION
E-11	DRAINAGE SEWERAGE	SEE PLAN SEE PLAN	THIS PLAN THIS PLAN	WYNDHAM CITY COUNCIL CITY WEST WATER CORPORATION

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REF 2360s-04

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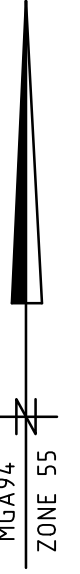
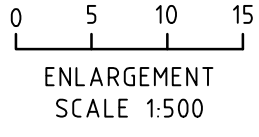
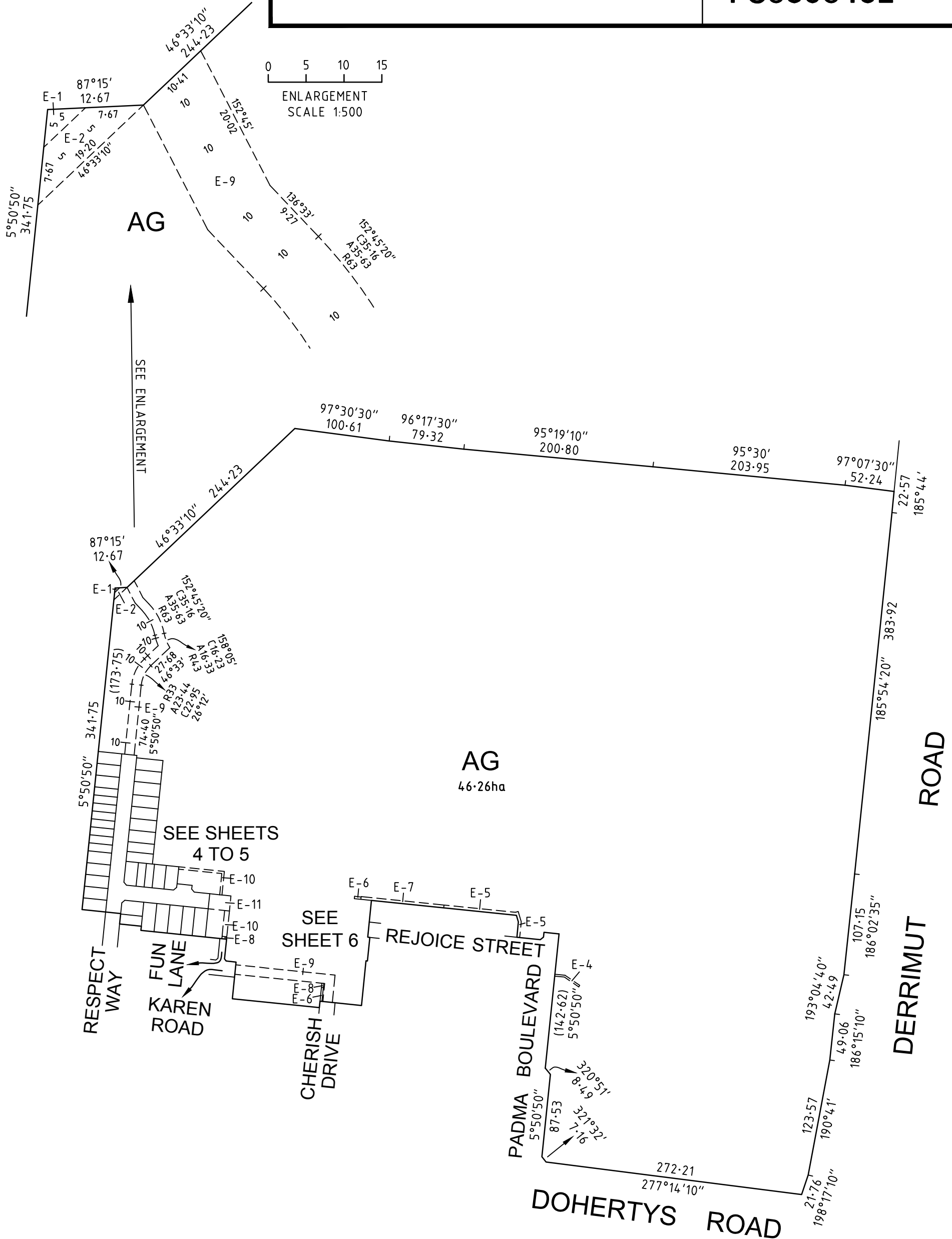
SHEET 2

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SCALE
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LENGTHS ARE IN METRES

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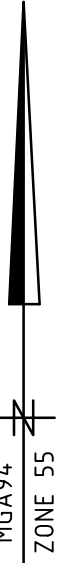
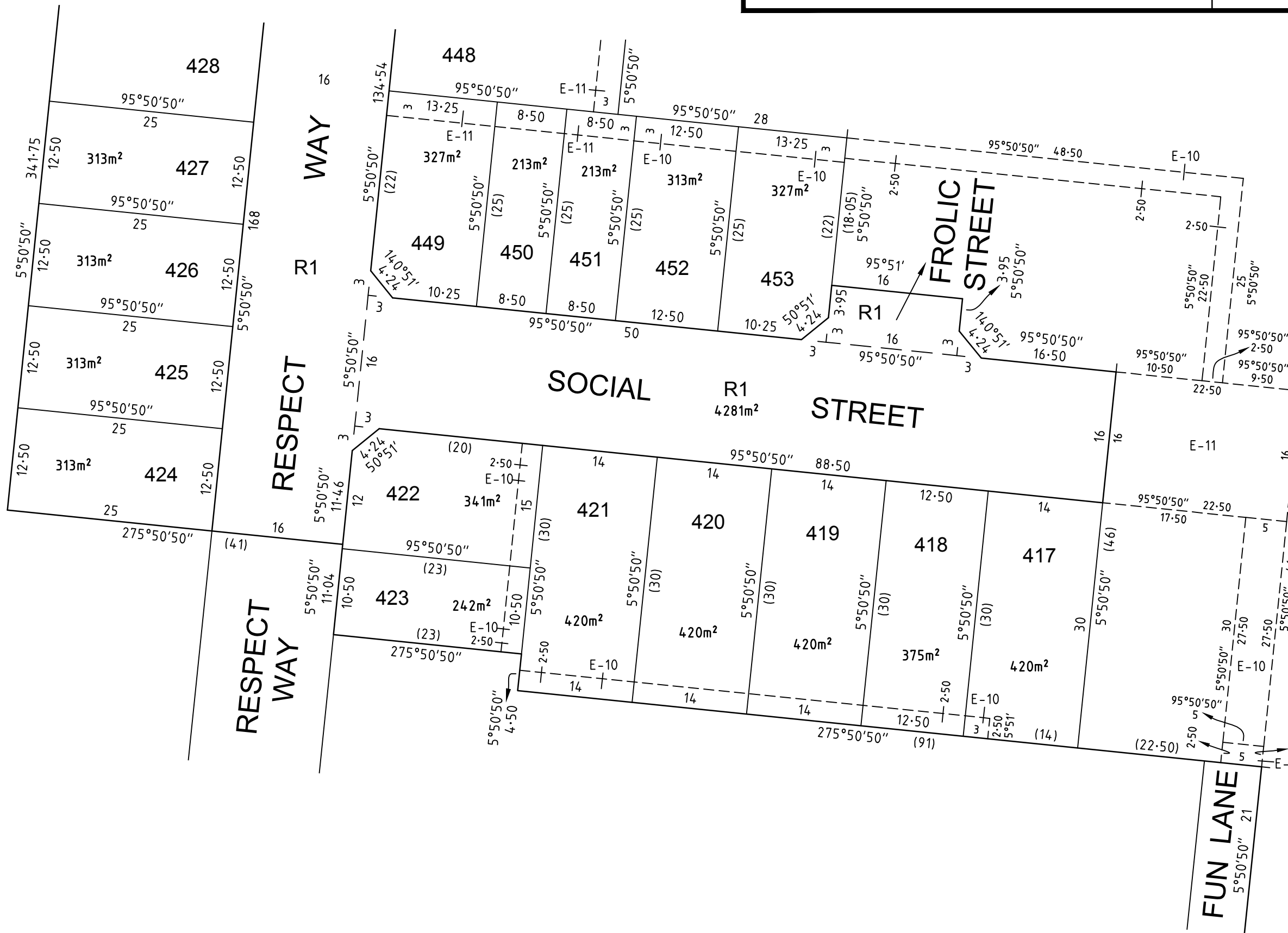
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SEE SHEET 5

AG
SEE SHEET 3



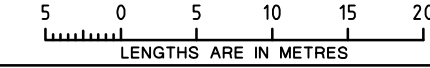
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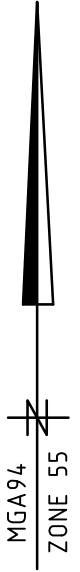
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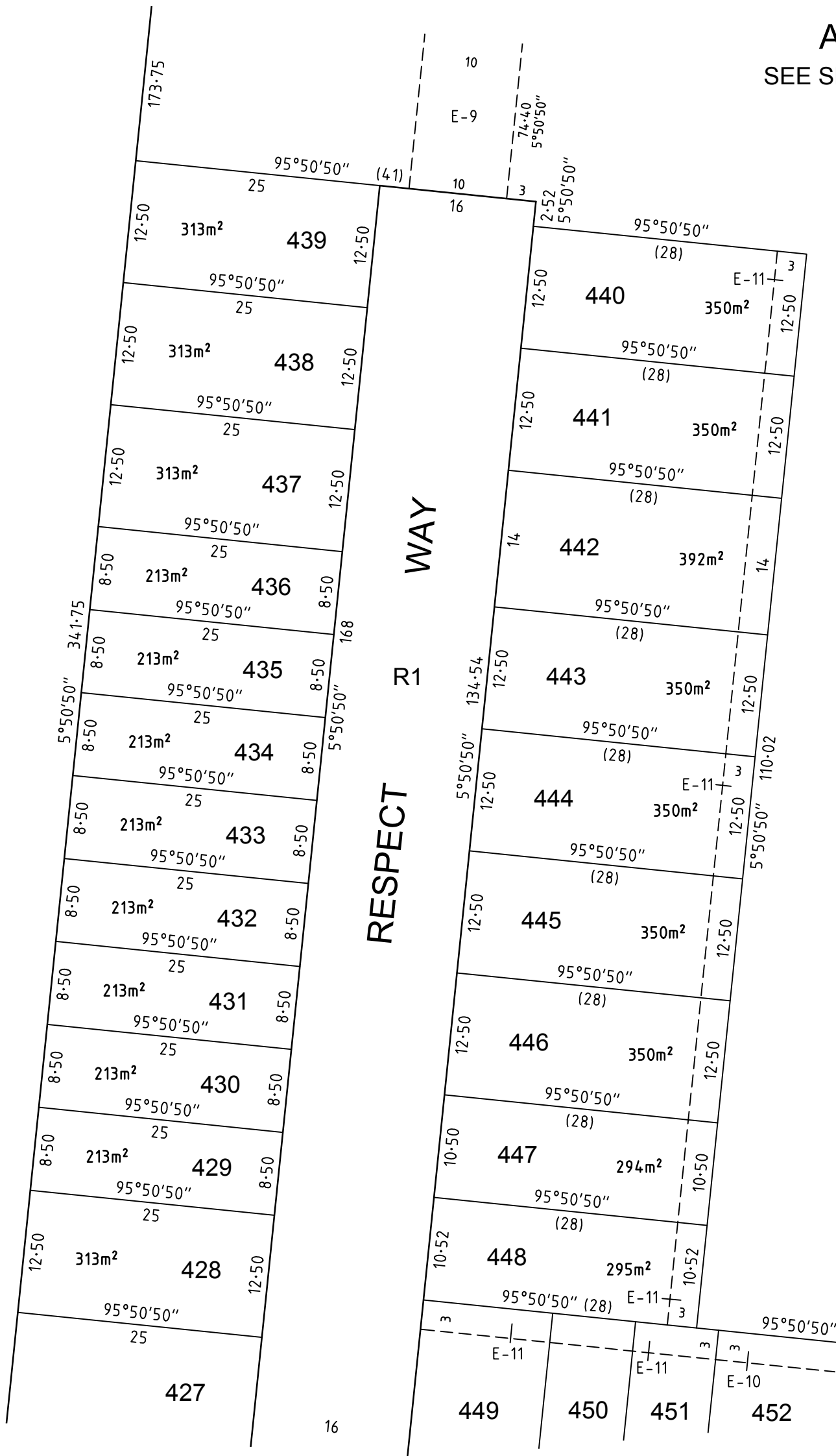
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SEE SHEET 3

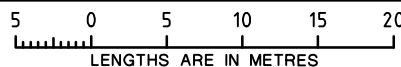


SEE SHEET 4



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SHEET 5

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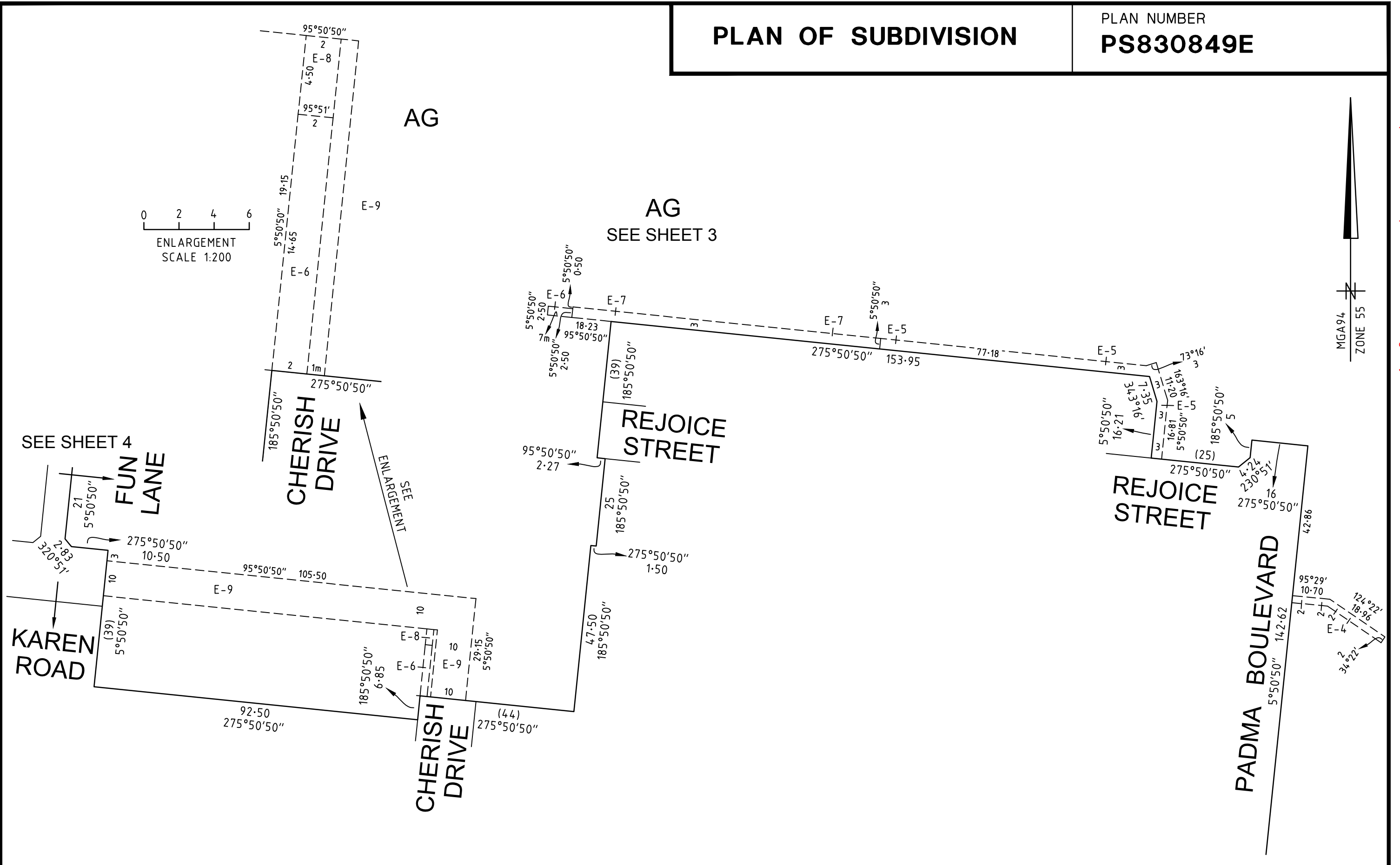
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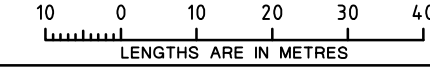


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SCALE 1:1000



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SHEET 6

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CREATION OF RESTRICTION A

The following Restriction is to be created upon registration of Plan of Subdivision PS830849E by way of a restrictive covenant and as a restriction as defined in the Subdivision Act 1988.

Table of Land Burdened and Land Benefited:

BURDENED LOT No.	BENEFITING LOTS
417	418
418	417, 419
419	418, 420
420	419, 421
421	420, 422, 423
422	421, 423
423	421, 422
424	425
425	424, 426
426	425, 427
427	426, 428
428	427, 429
429	428, 430
430	429, 431
431	430, 432
432	431, 433
433	432, 434
434	433, 435
435	434, 436

BURDENED LOT No.	BENEFITING LOTS
436	435, 437
437	436, 438
438	437, 439
439	438
440	441
441	440, 442
442	441, 443
443	442, 444
444	443, 445
445	444, 446
446	445, 447
447	446, 448
448	447, 449, 450, 451
449	448, 450
450	448, 449, 451
451	448, 450, 452
452	451, 453
453	452

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot on the Plan of Subdivision must not without the consent of the Responsible Authority build or allow to be built on the lot:

Memorandum of Common Provisions (MCP)

1. Any building other than a building which has been constructed and sited in accordance with the Memorandum of Common Provisions registered in Dealing No. AA4937 and which Memorandum of Common Provisions is incorporated in this plan.

Small Lot Housing Code

2. Any building in the case of lots less than 300 square metres unless in accordance with the Small Lot Housing Code (Type A) or unless a specific Planning Permit for the building has been obtained from Wyndham City Council.

The restrictions in paragraphs 1 and 2 shall cease to burden any lot on the Plan of Subdivision after 1st January 2031.

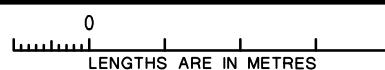


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